

HOUSE, DECK, STAIRS, PARKING COVERAGE: 4,166 SQUARE FEET
 DRIVEWAY COVERAGE WITHIN PROPERTY LINES: 2,040 SQUARE FEET
 TOTAL COVERAGE: 6,206 SQUARE FEET

SITE: 24,828 SQUARE FEET
 SITE COVERAGE LIMIT PERCENTAGE: 25%
 SITE COVERAGE PERCENTAGE: 24.99%

SITE PLAN
 SCALE: 1" = 20'-0"

EDGAR MCKEE AND JOEY PARKER
 LOT 11 EAST PERDIDO KEY
 ORANGE BEACH, AL 32507

PRELIMINARY PLANS: 02-14-22, 02-24-22
 PROGRESS SET: 01-26-22, 08-05-22, 08-15-22, 11-28-22
 FINAL REVIEW:
 FINAL PRINT:

- NOTES:
1. SEPTIC TANK, IF REQUIRED, TO BE DESIGNED & LOCATED BY OTHERS
 2. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS, CODE REQUIREMENTS, SUBDIVISION COVENANTS, SETBACKS AND ALL OTHER MATTERS REQUIRED BY ALL PREVAILING AUTHORITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 3. OWNER AND FOUNDATION CONTRACTOR SHALL VERIFY LOCATION AND ORIENTATION OF THE HOUSE ON THE PROPOSED LOT PRIOR TO CONSTRUCTION.
 4. ALL ELEVATIONS ARE APPROXIMATE AND SHALL BE VERIFIED BY OWNER/BUILDER PRIOR TO CONSTRUCTION.
 5. FINISHED GRADE TO SLOPE AWAY FROM ALL STRUCTURES, INCLUDING ADJACENT PROPERTIES

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JAN 25 2023

O.B. COMMUNITY DEV.

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 FAIRHOPE, ALABAMA (251) 928-0988

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Date :	02-04-22	Drawn By :	RENE STOCKMAN
Scale :	5/8"	Sheet Number :	2A
Plan Number :	XXXXX-A-1		

Chp

WINDOW DESIGNATION 3060 SH = 3'-0" x 6'-0"
 SINGLE HUNG
 VERIFY W/MANUFACTURER FOR SIZE & ROUGH
 OPENINGS.

DOOR DESIGNATION 3080 = 3'-0" x 8'-0"
 VERIFY W/MANUFACTURER
 FOR SIZE & ROUGH OPENINGS.

NOTE:
 ALL FLASHING AROUND WINDOWS & DOORS SHALL BE
 INSTALLED AS PER CODE TO PREVENT MOISTURE
 PENETRATION.

NOTE:
 ALL ROOF FLASHING, SIDEWALL FLASHING, EAVE &
 OTHER REQUIRED FLASHING SYSTEMS SHALL BE
 INSTALLED AS PER CODE REQUIREMENT & SHALL
 PREVENT MOISTURE PENETRATION.

AREAS:

2nd FLOOR (MAIN FLR) LIVING:	1352 SQ. FT.
3rd FLOOR LIVING:	1543 SQ. FT.
4th FLOOR (TOP FLR) LIVING:	1543 SQ. FT.
TOTAL LIVING:	4438 SQ. FT.
BALCONIES:	131 SQ. FT.
POOL, DECK, COV FORCH:	124 SQ. FT.
GROUND FLOOR:	2021 SQ. FT.
TOTAL UNDER ROOF (ONE SIDE):	1320 SQ. FT.
TOTAL UNDER ROOF (BOTH SIDES):	14640 SQ. FT.

EDGAR MCKEE AND JOEY PARKER
 LOT II EAST PERDIDO KEY
 ORANGE BEACH, AL 32501

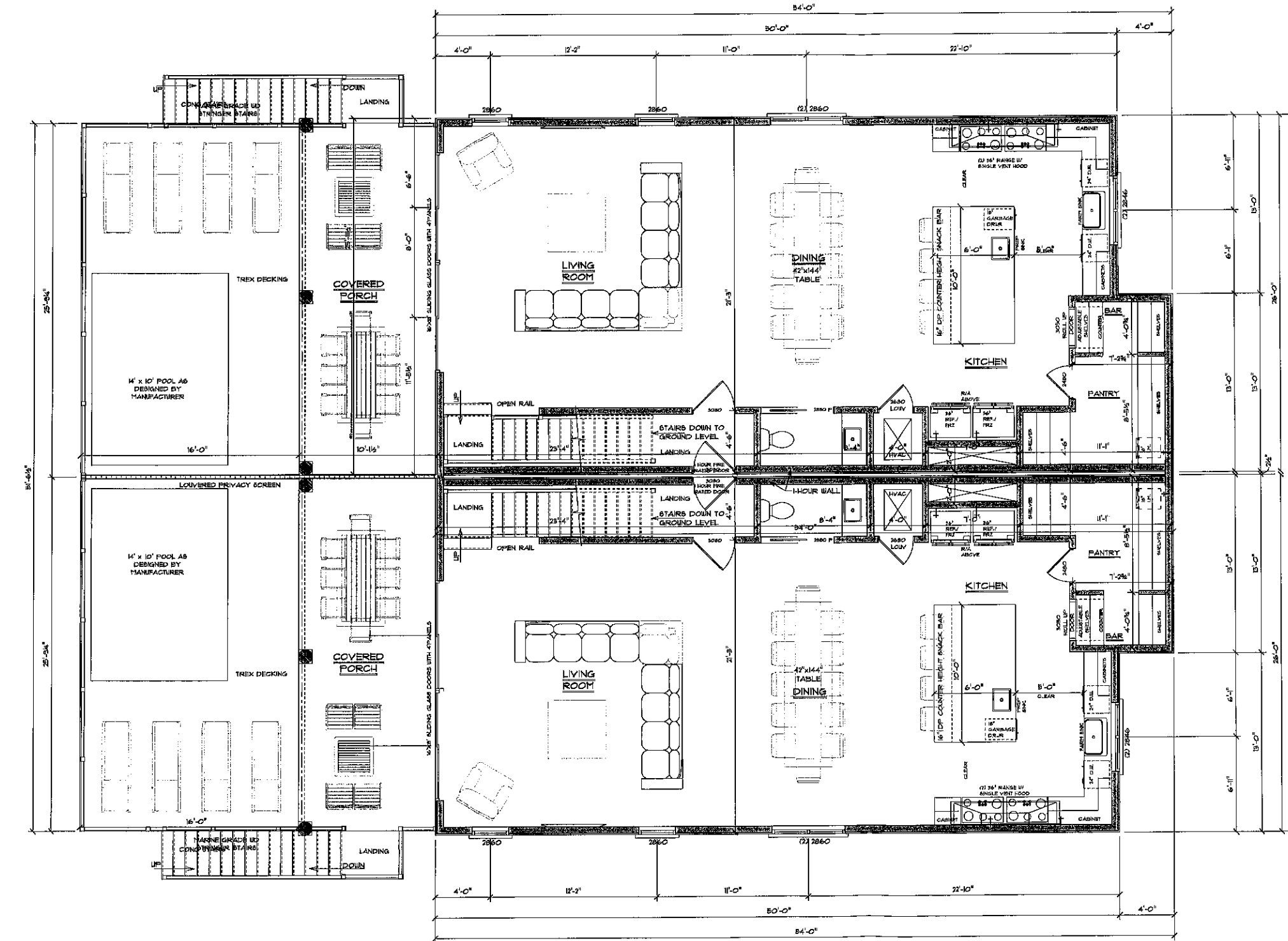
PRELIMINARY PLAN: 02-11-22, 02-22-22
 PROGRESS SET: 03-24-22, 04-14-22, 07-26-22, 08-15-22
 FINAL REVIEW:
 FINAL PRINT:

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Date: 02-04-22	Drawn By: RENE STOCKMAN
Scale:	Sheet Number: 3
File Number: XXXX-A-1	

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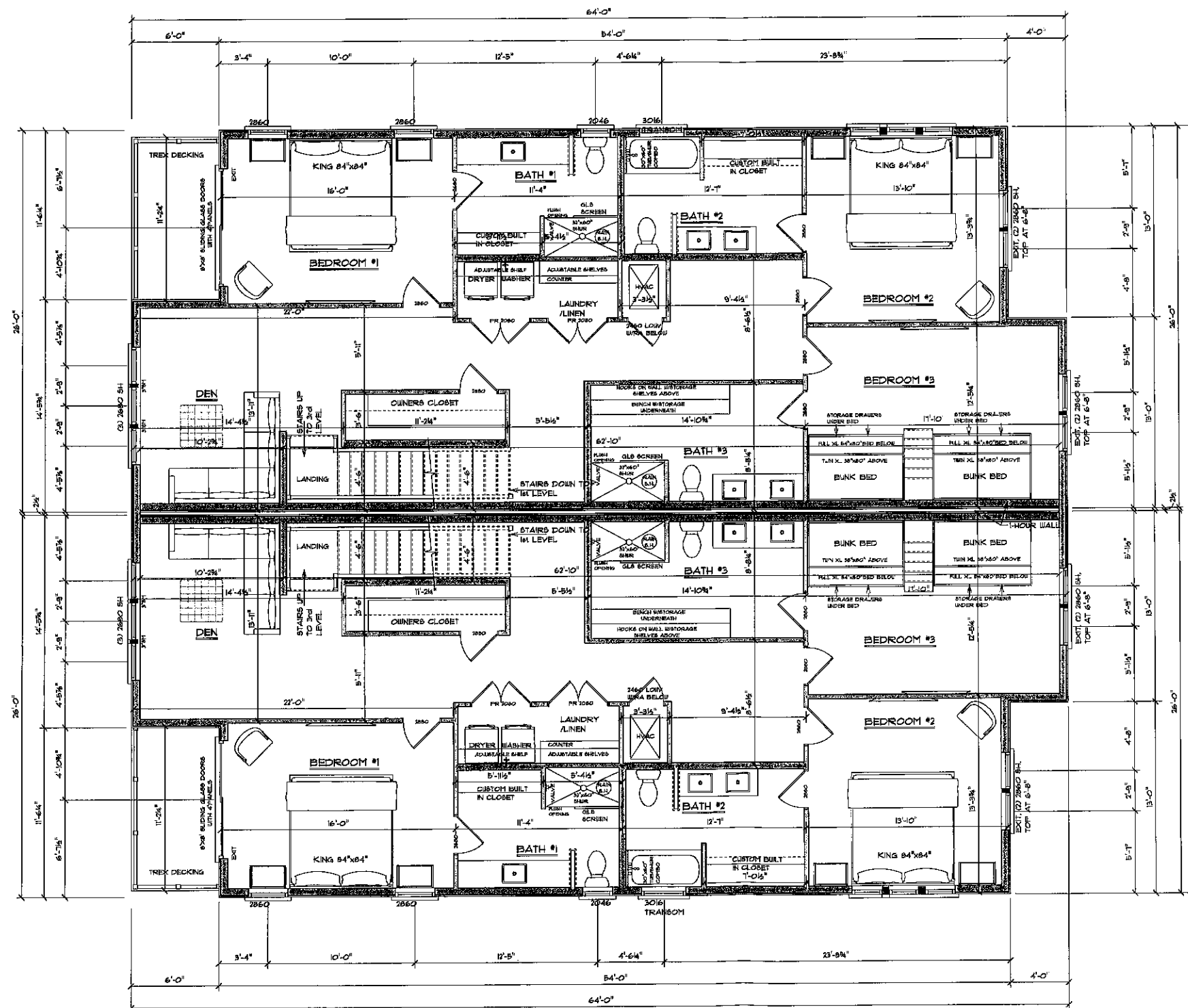
NOTE:
 Great care and effort have gone into the creation of the design of these plans. However, because of the impossibility of providing any personal and/or "on-the-site" consultation and supervision over the actual construction, and because of the great variance in local building code requirements and other local building and weather conditions, designer assumes no responsibility for any damages, including structural failures, due to any deficiencies, omissions or errors in the design, blueprints, or specifications. For soil and/or weather conditions (i.e. hurricanes, earthquakes, snow, etc.) it is recommended that you consult a local engineer of your choice and check with your local building officials prior to start of actual construction. These drawings are not to be copied or reproduced without written permission from CHATHAM HOME PLANNING.

NOTE:
 Contractor shall verify the accuracy of all dimensions, ceiling heights, beam and joist designations, complying with all code requirements, and the provisions for duct layout, heating and air conditioning systems and proposed electrical & plumbing layouts prior to commencement of construction.

NOTE:
 BUILDER, OWNER, & HVAC SUBCONTRACTOR TO DETERMINE LOCATION OF ALL MECHANICAL EQUIPMENT, DISTRIBUTION, & RETURN AIR SYSTEM PRIOR TO CONSTRUCTION
 ALL WINDOWS 18" OR LESS ABOVE FINISHED FLOOR SHALL MEET CODE

2nd FLOOR PLAN (MAIN FLR)
 SCALE: 1/4" = 1'-0"

8'-6" CEILING GROUND FLOOR (BTM OF BM)
 9'-0" CEILING (3rd)
 9'-0" CEILING TOP FLOOR (4th)



3rd FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE:
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ALL WINDOWS 18" OR LESS ABOVE FINISHED FLOOR SHALL MEET CODE

WINDOW DESIGNATION 3060 SH = 3'-0" x 6'-0"
SINGLE HUNG
VERIFY W/MANUFACTURER FOR SIZE & ROUGH OPENINGS.

DOOR DESIGNATION 3080 = 3'-0" x 8'-0".
VERIFY W/MANUFACTURER FOR SIZE & ROUGH OPENINGS.

WINDOW DESIGNATION 3060 SH = 3'-0" x 6'-0"
SINGLE HUNG
VERIFY W/MANUFACTURER FOR SIZE & ROUGH OPENINGS.

DOOR DESIGNATION 3080 = 3'-0" x 8'-0".
VERIFY W/MANUFACTURER FOR SIZE & ROUGH OPENINGS.

NOTE:
ALL FLASHING AROUND WINDOWS & DOORS SHALL BE INSTALLED AS PER CODE TO PREVENT MOISTURE PENETRATION.

NOTE:
ALL ROOF FLASHING, SIDEWALL FLASHING, EAVE & OTHER REQUIRED FLASHING SYSTEMS SHALL BE INSTALLED AS PER CODE REQUIREMENT & SHALL PREVENT MOISTURE PENETRATION.

AREAS:

2nd FLOOR (MAIN FLR) LIVING:	1352 SQ. FT.
3rd FLOOR LIVING:	1543 SQ. FT.
4th FLOOR (TOP FLR) LIVING:	1543 SQ. FT.
TOTAL LIVING:	4438 SQ. FT.
BALCONIES:	131 SQ. FT.
POOL, DECK, COV PORCH:	724 SQ. FT.
GROUND FLOOR:	2021 SQ. FT.
TOTAL UNDER ROOF (ONE SIDE):	1320 SQ. FT.
TOTAL UNDER ROOF (BOTH SIDES):	14640 SQ. FT.

EDGAR MCKEE AND JOEY PARKER
LOT 11 EAST PERDIDO KEY
ORANGE BEACH, AL 32501

PRELIMINARY PLANS: 02-11-22, 02-22-22
PROGRESS SET: 03-24-22, 04-14-22, 07-26-22, 08-15-22
FINAL REVIEW:
FINAL PRINT:

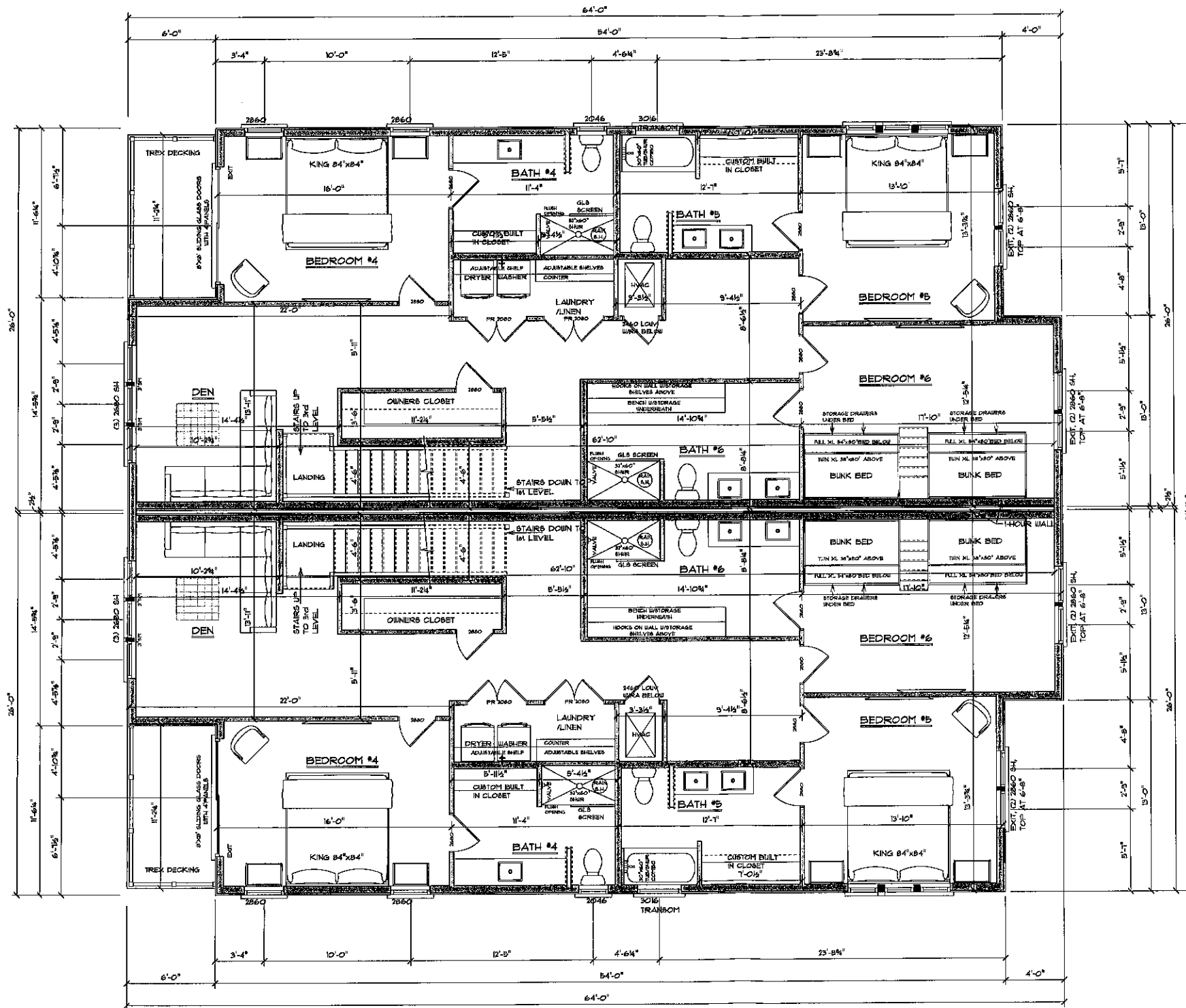
8'-6" CEILING GROUND FLOOR (BTM OF BM)
9'-0" CEILING (3rd)
9'-0" CEILING TOP FLOOR (4th)

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Date: 02-04-22	Drawn By: RENE STOCKMAN
Scale:	Sheet Number: 4
Plan Number: XXXX-A-1	

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4th FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTE:
Great care and effort have gone into the creation of the design of these plans. However, because of the impossibility of providing any personal or "on-the-site" consultation and supervision over the actual construction, and because of the great variance in local building code requirements and other local building and weather conditions, designer assumes no responsibility for any designs, including structural failures, due to any deficiencies, omissions or errors in the design, blueprints, or specifications. For soil and/or weather conditions (i.e. hurricanes, earthquakes, snow, etc.) it is recommended that you consult a local engineer of your choice and check with your local building officials prior to start of actual construction. These drawings are not to be copied or reproduced without written permission from CHATHAM HOME PLANNING.

NOTE:
Contractor shall verify the accuracy of all dimensions, ceiling heights, beam and joist designations, complying with all code requirements, and the provisions for duct layout, heating and air conditioning systems and proposed electrical & plumbing layouts prior to commencement of construction.

NOTE:
BUILDER, OWNER, & HVAC SUBCONTRACTOR TO DETERMINE LOCATION OF ALL MECHANICAL EQUIPMENT, DISTRIBUTION, & RETURN AIR SYSTEM PRIOR TO CONSTRUCTION

ALL WINDOWS 18" OR LESS ABOVE FINISHED FLOOR SHALL MEET CODE

WINDOW DESIGNATION 3060 SH = 3'-0" x 6'-0" SINGLE HUNG VERIFY W/MANUFACTURER FOR SIZE & ROUGH OPENINGS.

DOOR DESIGNATION 3080 = 3'-0" x 8'-0" VERIFY W/MANUFACTURER FOR SIZE & ROUGH OPENINGS.

NOTE:
ALL FLASHING AROUND WINDOWS & DOORS SHALL BE INSTALLED AS PER CODE TO PREVENT MOISTURE PENETRATION.

NOTE:
ALL ROOF FLASHING, SIDEWALL FLASHING, EAVE & OTHER REQUIRED FLASHING SYSTEMS SHALL BE INSTALLED AS PER CODE REQUIREMENT & SHALL PREVENT MOISTURE PENETRATION.

WINDOW DESIGNATION 3060 SH = 3'-0" x 6'-0" SINGLE HUNG VERIFY W/MANUFACTURER FOR SIZE & ROUGH OPENINGS.

DOOR DESIGNATION 3080 = 3'-0" x 8'-0" VERIFY W/MANUFACTURER FOR SIZE & ROUGH OPENINGS.

NOTE:
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NOTE:
ALL ROOF FLASHING, SIDEWALL FLASHING, EAVE & OTHER REQUIRED FLASHING SYSTEMS SHALL BE INSTALLED AS PER CODE REQUIREMENT & SHALL PREVENT MOISTURE PENETRATION.

AREA:

2nd FLOOR (MAIN FLR) LIVING:	1352 SQ. FT.
3rd FLOOR LIVING:	1543 SQ. FT.
4th FLOOR (TOP FLR) LIVING:	1543 SQ. FT.
TOTAL LIVING:	4438 SQ. FT.
BALCONIES:	131 SQ. FT.
POOL, DECK, COV PORCH:	134 SQ. FT.
GROUND FLOOR:	2021 SQ. FT.
TOTAL UNDER ROOF (ONE SIDE):	1320 SQ. FT.
TOTAL UNDER ROOF (BOTH SIDES):	14640 SQ. FT.

EDGAR MCKEE AND JOEY PARKER
LOT 11 EAST PERDIDO KEY
ORANGE BEACH, AL 32501

PRELIMINARY PLANS: 02-17-22, 02-22-22
PROGRESS SET: 03-24-22, 04-14-22, 07-26-22, 08-15-22
FINAL REVIEW:
FINAL PRINT:

8'-6" CEILING GROUND FLOOR (BTM OF BM)
9'-0" CEILING (3rd)
9'-0" CEILING TOP FLOOR (4th)

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Date:	02-04-22	Drawn By:	KENI STOCKMAN
Scale:		Sheet Number:	5
Plan Number:	XXXX-A-1		

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FRONT ELEVATION
SCALE: 1/4" = 1'-0"

AREAS:

2nd FLOOR (MAIN FLR) LIVING:	1352 SQ. FT.
3rd FLOOR LIVING:	1543 SQ. FT.
4th FLOOR (TOP FLR) LIVING:	1543 SQ. FT.
TOTAL LIVING:	4438 SQ. FT.
BALCONIES:	131 SQ. FT.
POOL, DECK, COV PORCH:	124 SQ. FT.
GROUND FLOOR:	2021 SQ. FT.
TOTAL UNDER ROOF (ONE SIDE):	1320 SQ. FT.
TOTAL UNDER ROOF (BOTH SIDES):	14640 SQ. FT.

EDGAR MCKEE AND JOEY PARKER
LOT II EAST PERDIDO KEY
ORANGE BEACH, AL 32507

PRELIMINARY PLAN: 02-11-22, 02-22-22
PROGRESS SET: 03-24-22, 04-14-22, 07-26-22, 08-15-22
FINAL REVIEW:
FINAL PRINT:

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Date: 02-04-22	Drawn By: RENE STOCKMAN
Scale:	Sheet Number: 6
Plan Number: XXXX-A-1	

c h p

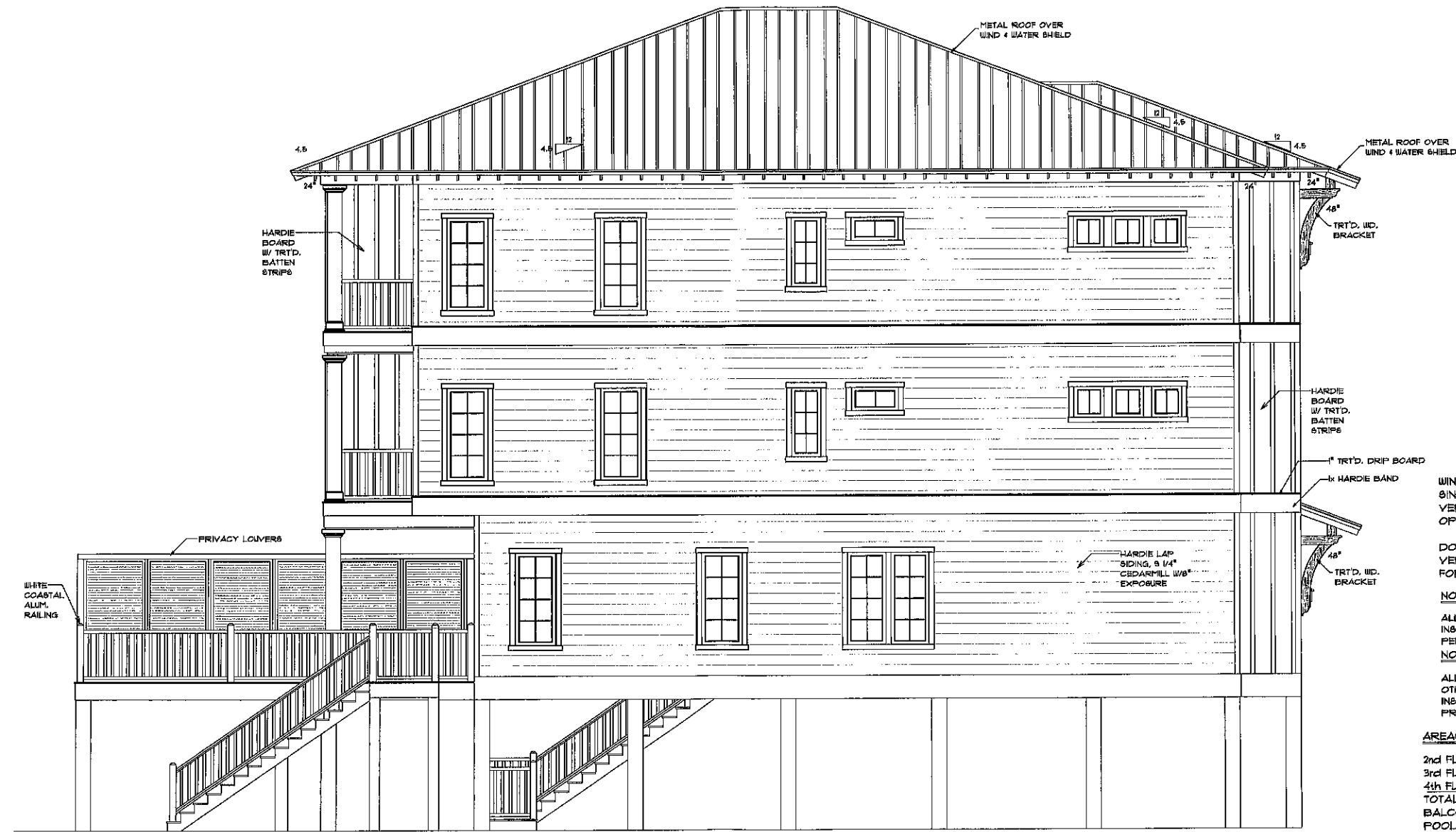
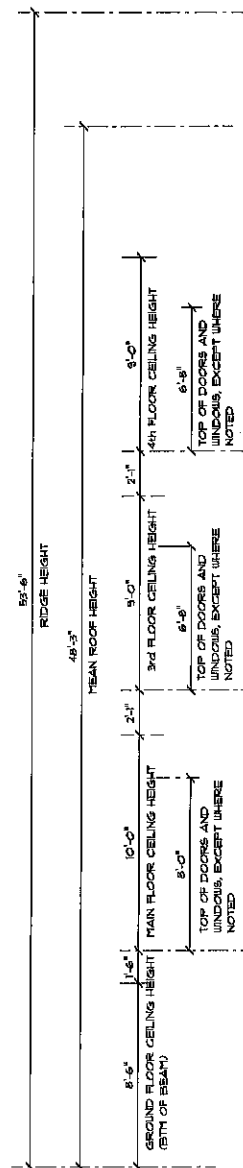
NOTE:
BUILDER, OWNER, & HVAC SUBCONTRACTOR TO DETERMINE LOCATION OF ALL MECHANICAL EQUIPMENT, DISTRIBUTION, & RETURN AIR SYSTEM PRIOR TO CONSTRUCTION.
ALL WINDOWS 18" OR LESS ABOVE FINISHED FLOOR SHALL MEET CODE.
WINDOW DESIGNATION 3060 SH = 3'-0" x 6'-0" SINGLE HUNG
VERIFY W/MANUFACTURER FOR SIZE & ROUGH OPENINGS.
DOOR DESIGNATION 3080 = 3'-0" x 6'-0".
VERIFY W/MANUFACTURER FOR SIZE & ROUGH OPENINGS.

NOTE:
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NOTE:
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NOTE:
Contractor shall verify the accuracy of all dimensions, ceiling heights, beam and joist designations, complying with all code requirements, and the provisions for duct layout, heating and air conditioning systems and proposed electrical & plumbing layouts prior to commencement of construction.

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8'-6" CEILING GROUND FLOOR (BTH OF BM)
9'-0" CEILING (3rd)
9'-0" CEILING TOP FLOOR (4th)



WINDOW DESIGNATION 3060 SH = 3'-0" x 6'-0" SINGLE HUNG VERIFY W/MANUFACTURER FOR SIZE & ROUGH OPENINGS.

DOOR DESIGNATION 3080 = 3'-0" x 6'-0". VERIFY W/MANUFACTURER FOR SIZE & ROUGH OPENINGS.

NOTE:
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NOTE:
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AREAS:

2nd FLOOR (MAIN FLR) LIVING:	1352 SQ. FT.
3rd FLOOR LIVING:	1543 SQ. FT.
4th FLOOR (TOP FLR) LIVING:	1543 SQ. FT.
TOTAL LIVING:	4438 SQ. FT.
BALCONIES:	131 SQ. FT.
POOL, DECK, COV PORCH:	124 SQ. FT.
GROUND FLOOR:	2021 SQ. FT.
TOTAL UNDER ROOF (ONE SIDE):	1320 SQ. FT.
TOTAL UNDER ROOF (BOTH SIDES):	14640 SQ. FT.

LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

EDGAR MCKEE AND JOEY PARKER
LOT II EAST PERDIDO KEY
ORANGE BEACH, AL 32507

PRELIMINARY PLANS: 02-11-22, 02-22-22
PROGRESS SET: 03-24-22, 04-14-22, 01-26-22, 08-15-22
FINAL REVIEW:
FINAL PRINT:

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NOTE:
BUILDER, OWNER, & HVAC SUBCONTRACTOR TO DETERMINE LOCATION OF ALL MECHANICAL EQUIPMENT, DISTRIBUTION, & RETURN AIR SYSTEM PRIOR TO CONSTRUCTION
ALL WINDOWS 16" OR LESS ABOVE FINISHED FLOOR SHALL MEET CODE

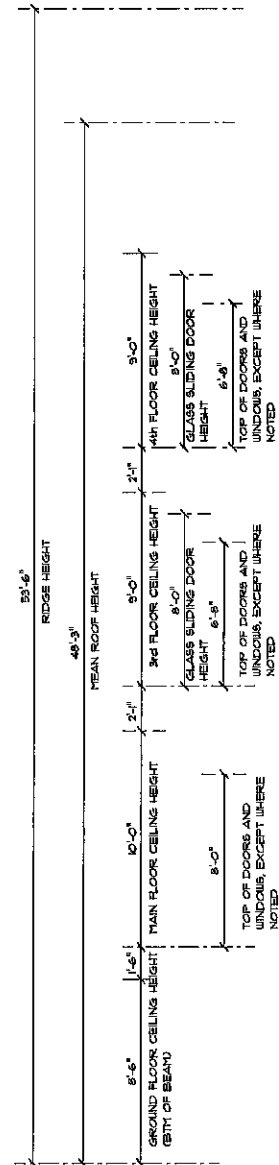
5'-6" CEILING GROUND FLOOR (BTM OF BM)
9'-0" CEILING (3rd)
9'-0" CEILING TOP FLOOR (4th)

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FAIRHOPE, ALABAMA (251) 938-0368

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Date: 02-04-22 Drawn By: RENE STOCKMAN
Scale: Sheet Number: 7
Plan Number: XXXX-A-1

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REAR ELEVATION
SCALE: 1/4" = 1'-0"

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NOTE:
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WINDOW DESIGNATION 3060 SH = 3'-0" x 6'-0"
SINGLE HUNG
VERIFY W/MANUFACTURER FOR SIZE & ROUGH OPENINGS.

DOOR DESIGNATION 3080 = 3'-0" x 5'-0"
VERIFY W/MANUFACTURER FOR SIZE & ROUGH OPENINGS.

WINDOW DESIGNATION 3060 SH = 3'-0" x 6'-0"
SINGLE HUNG
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NOTE:
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AREAS:

2nd FLOOR (MAIN FLR) LIVING:	1352 SQ. FT.
3rd FLOOR LIVING:	1543 SQ. FT.
4th FLOOR (TOP FLR) LIVING:	1843 SQ. FT.
TOTAL LIVING:	4438 SQ. FT.
BALCONIES:	131 SQ. FT.
POOL DECK, COV PORCH:	124 SQ. FT.
GROUND FLOOR:	2021 SQ. FT.
TOTAL UNDER ROOF (ONE SIDE):	1320 SQ. FT.
TOTAL UNDER ROOF (BOTH SIDES):	14640 SQ. FT.

EDGAR MCKEE AND JOEY PARKER
LOT II EAST PERDIDO KEY
ORANGE BEACH, AL 32501

PRELIMINARY PLANS: 02-11-22, 02-22-22
PROGRESS SET: 03-24-22, 04-14-22, 07-26-22, 08-15-22
FINAL REVIEW:
FINAL PRINT:

8'-6" CEILING GROUND FLOOR (BTM OF BM)
9'-0" CEILING (3rd)
9'-0" CEILING TOP FLOOR (4th)

CHATHAM HOME PLANNING
FAIRHOPE, ALABAMA (256) 938-0385

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Date: 02-04-22 Drawn By: RENE STOCKMAN
Scale: Sheet Number: 8
Plan Number: XXXX-A-1

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RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

NOTE:
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ALL WINDOWS 18" OR LESS ABOVE FINISHED FLOOR SHALL MEET CODE

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VERIFY W/MANUFACTURER FOR SIZE & ROUGH OPENINGS.

DOOR DESIGNATION 3080 = 3'-0" x 8'-0".
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AREAS:

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3rd FLOOR LIVING:	1543 SQ. FT.
4th FLOOR (TOP FLR) LIVING:	1543 SQ. FT.
TOTAL LIVING:	4438 SQ. FT.
BALCONIES:	131 SQ. FT.
POOL, DECK, COV PORCH:	124 SQ. FT.
GROUND FLOOR:	2021 SQ. FT.
TOTAL UNDER ROOF (ONE SIDE):	1320 SQ. FT.
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EDGAR MCKEE AND JOEY PARKER
LOT II EAST PERDIDO KEY
ORANGE BEACH, AL 32501

PRELIMINARY PLANS: 02-17-22, 02-22-22
PROGRESS SET: 03-24-22, 04-14-22, 07-26-22, 08-15-22
FINAL REVIEW:
FINAL PRINT:

8'-6" CEILING GROUND FLOOR (BTM OF BM)
10'-0" CEILING (2nd)
9'-0" CEILING (3rd)
9'-0" CEILING TOP FLOOR (4th)

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FAIRHOPE, ALABAMA (251) 928-0388

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Date: 02-04-22	Drawn By: RENE STOCKMAN
Scale:	Sheet Number: 9
Plan Number: XXXX-A-1	

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